

ADDITION + IMPROVEMENTS FOR ELEVATOR UNION LOCAL 71

LANDSCAPE ARCHITECT



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ARCHITECT



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GLASGOW
SCHUSTER
SOTO, INC.**
Architecture Planning Interior Design
901 ponce de leon blvd. ste. 304 coral gables, florida 33134 305.443.7758 AR 9945

CIVIL & STRUCTURAL ENGINEER



**305 CONSULTING
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ENGINEERS • PLANNERS

**FERGUSON
GLASGOW
SCHUSTER
SOTO, INC.**
301 ponce de leon blvd. ste. 304 coral gables, florida 33134 305 • 443 • 7758 www.fgs.net AR 9945
Architect
Interior Design

AR 9945

23-08
ADDITION + IMPROVEMENTS FOR
**IUEC LOCAL 71
HEADQUARTERS**
1771 S STATE RD. 7
FORT LAUDERDALE, FL 33317

REVISIONS NO.	DATE	REMARKS

PROJ. NO.: 2023-08
DRAWN BY: ARG/MKG
DATE: 4/19/2024

COVER

COVER

002-SP-24
IUEC LOCAL 71 HEADQUARTERS
08/26/2024
FINAL SITE PLAN APPROVAL

PROPOSED WATER AND SEWER IMPROVEMENTS PLAN

FOR

ELEVATOR UNION LOCAL 71

1771 S STATE RD. 7

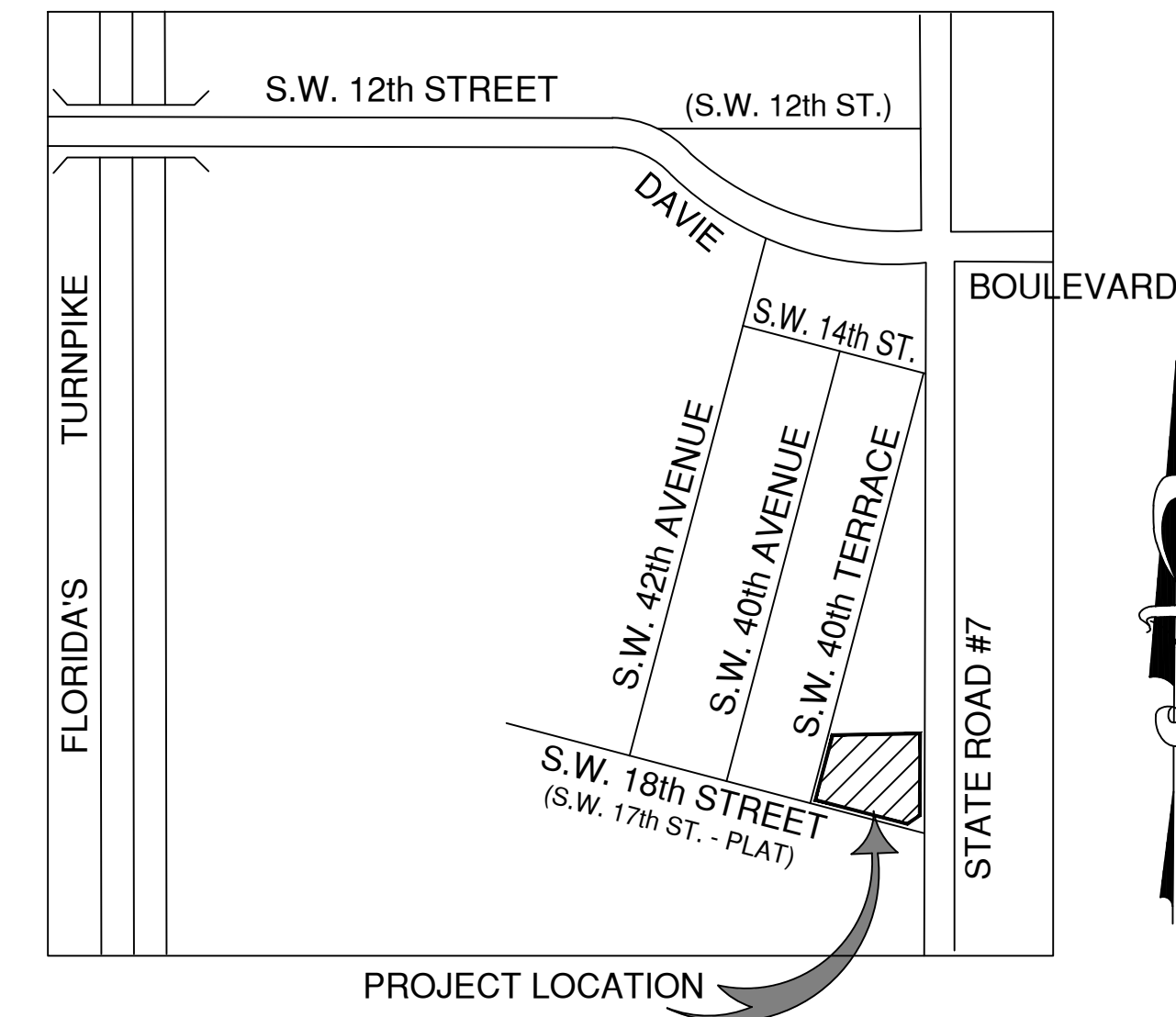
FORT LAUDERDALE, FLORIDA 33317

INDEX OF SHEETS

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C-508	S.W.P.P. DETAILS
C-509	CONSTRUCTION BEST MANAGEMENT PRACTICES

LEGEND AND ABBREVIATIONS

ASP	ADDITIONAL SERVICES PROGRAM
CB	CATCH BASIN
(NGVD 1929)	NATIONAL GEODETIC VERITAL DATUM 1929
SSMH	SANITARY SEWER MANHOLE
P/L	PROPERTY LINE
C/L	CENTERLINE
EL., ELEV.	ELEVATION
R/W	RIGHT OF WAY
	EXISTING SPOT ELEVATION
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING CATCH BASIN
	EXISTING FIRE HYDRANT
	EXISTING INLET
	EXISTING BOLLARD
	EXISTING TRAFFIC SIGN
	EXISTING WOOD UTILITY POLE
	EXISTING GUY WIRE
	EXISTING METAL LIGHT POLE
	EXISTING CONCRETE LIGHT POLE
	EXISTING MAILBOX
	EXISTING TRAFFIC SIGNAL BOX
	EXISTING TRAFFIC SIGNAL POLE
	EXISTING STORM MANHOLE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE
	PROPOSED P.I.V. AND FIRE DEPARTMENT CONNECTION
	PROPOSED FIRE HYDRANT
	PROPOSED GATE VALVE
	PROPOSED SINGLE WATER METER (WS 2.10)
	PROPOSED DUAL WATER METER (WS 2.12)
	PROPOSED PLUG FLUSHING VALVE OUTLET (FVO)
	PROPOSED SPOT ELEVATION
	PROPOSED METAL LIGHT POLE
	PROPERTY LINE
	CENTERLINE
	EXISTING CHAIN LINK FENCE
	EXISTING IRON FENCE - GUARD RAIL
	EXISTING WOOD FENCE
	PROPOSED SILT FENCE



LOCATION SKETCH
SCALE: NTS

DESCRIPTION OF PROJECT:

CONSTRUCTION OF WATER AND SEWER FACILITIES FOR A ONE-STORY BUSINESS AND PROFESSIONAL OFFICE BUILDING

DISCLAIMER:

CONVEYANCE OF NEW DEDICATION OF R/W SHALL OCCUR PRIOR TO THE CONVEYANCE OF PROPOSED WATER MAIN AND PROPOSED SEWER MAIN OTHERWISE PROVIDE EASEMENT FOR PROPOSED WATER AND INFRASTRUCTURE AS REQUIRED.

THE FOLLOWING ACTIVITIES ON EXISTING WATER SERVICES AND/OR EXISTING WATER MAINS SUCH AS:

- CUT AND PLUGS
- WATER MAIN OFFSETS
- INTERCONNECTIONS
- SERVICE INSTALLATIONS / RETIREMENTS / SERVICE TRANSFERS
- HYDRANT INSTALLATIONS / RETIREMENTS / REVOCATIONS
- ANY WORK THAT MAY NOT AFFECT THE QUALITY AND/OR QUANTITY OF WASH'S WATER, TRANSMISSION AND DISTRIBUTION SYSTEM SHALL BE PERFORMED BY A LICENSED CONTRACTOR UNDER THE SUPERVISION OF WASH LICENSED OPERATOR AND WASH DONATIONS INSPECTOR UNDER THE SCOPE AND JURISDICTION OF THE CONTRACTOR'S RIGHT-OF-WAY PERMIT. PRIOR TO ANY WORK BEING DONE, THE LICENSED CONTRACTOR SHALL COORDINATE WITH WASH DONATION INSPECTOR FOR THE SCHEDULING OF LICENSED OPERATOR TO BE PRESENT FOR PROPOSED ACTIVITY.

ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD 1988

NOTICE TO ALL CONTRACTORS

IT IS THE LAW IN FLORIDA
2 BUSINESS DAYS BEFORE YOU DIG
CALL SUNSHINE 1-800-432-4770

STATE, COUNTIES & CITIES ARE **NOT**
PART OF THE ONE CALL SYSTEM.
THEY MUST BE CALLED INDIVIDUALLY.

STATE OF FLORIDA DOT
ALL INTERSTATE RIGHT-OF-WAY
HIGHMAST LIGHTING
7-DAY NOTICE REQUIRED
239-656-7881
239-656-7742 FAX

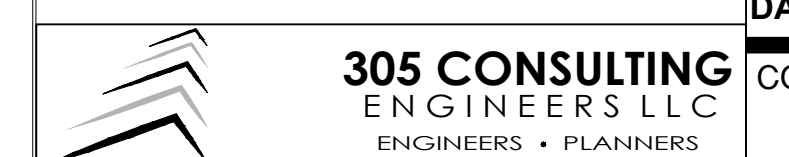
SUNSHINE ONE-CALL
DESIGN TICKET NO:



Two full business days before digging, call 811 or visit
mysunshine811.com to request utility locates.
Sunshine 811 utility members respond to your request.
Remember to compare utility responses to the marks
at site to determine if it's safe to dig.

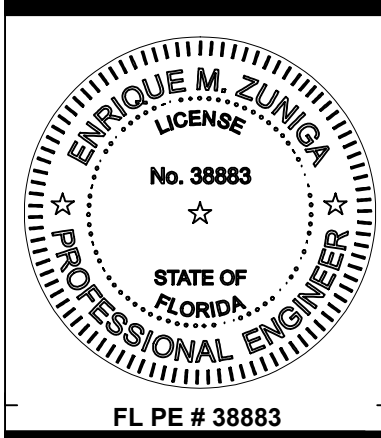
**Know what's below.
811 before you dig.**

002-SP-24
IUEC LOCAL 71 HEADQUARTERS
08/26/2024
FINAL SITE PLAN APPROVAL



13944 S.W. 8 STREET, SUITE 211
MIAMI, FLORIDA 33184
PH. (786) 409-5548 FAX (786) 615-3688
CA NO.: 30247
ENRIQUE M. ZUNIGA, P.E. PE 38883

This plan has been electronically signed and sealed.
 The Professional Engineer's seal and signature are not to be used
 if the Professional Engineer's seal and signature are not present.
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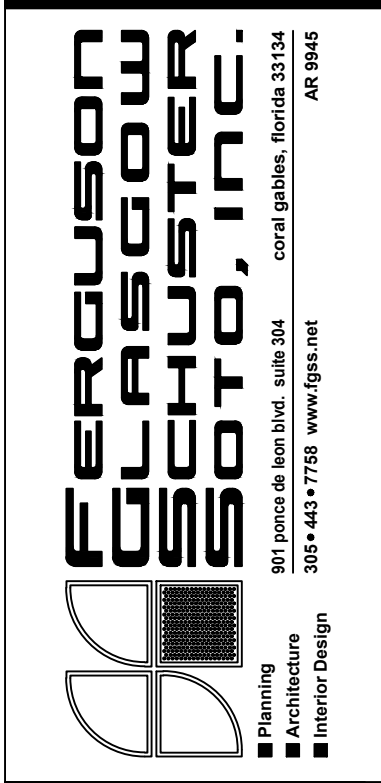
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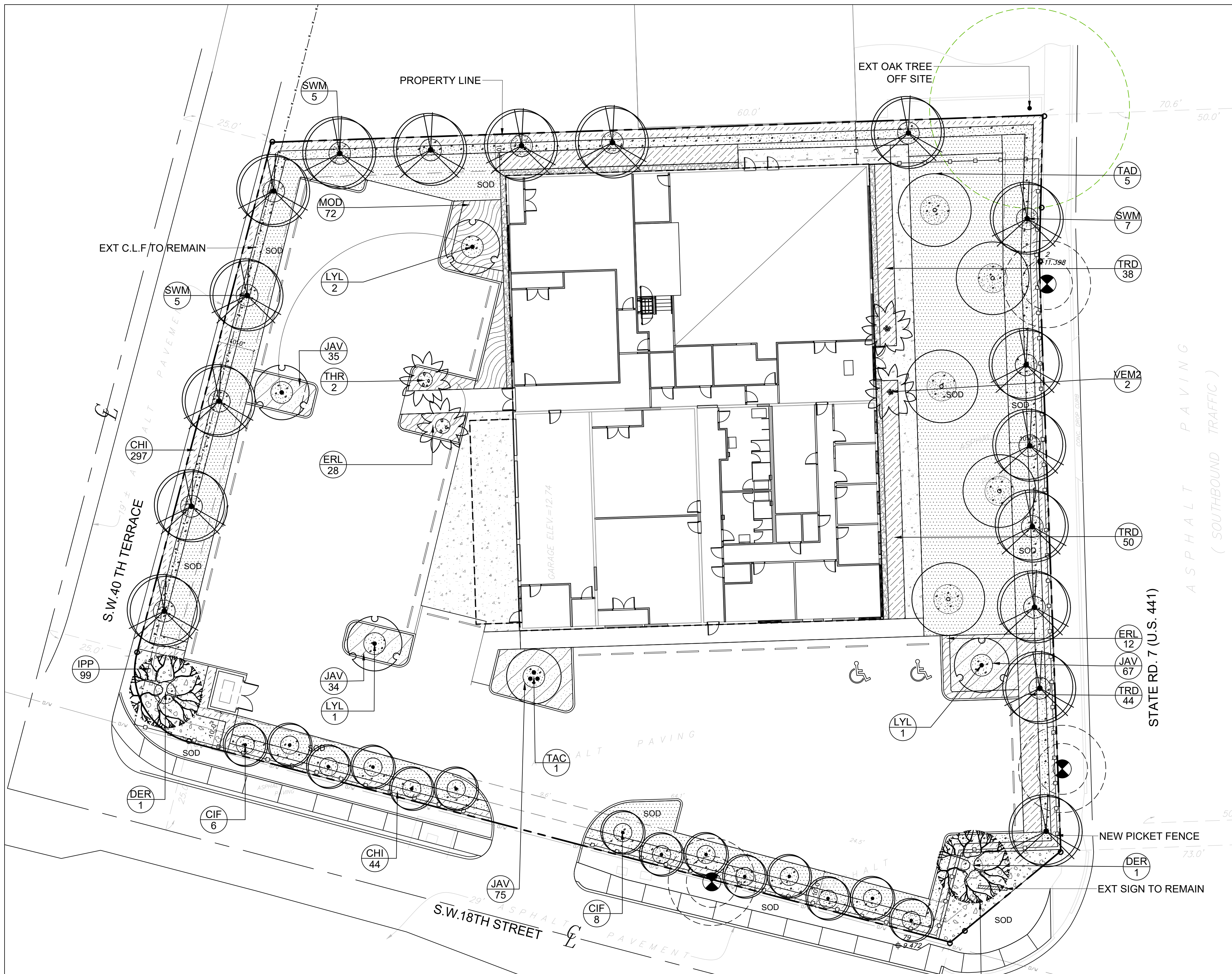
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COVER SHEET

C-501



FERGUSON
 LASHOW
 SCHUSTER
 SOTO, INC.
 PROFESSIONAL DESIGN
 305 + 463 + 7758 www.fgsps.net
 801 ponce de Leon Blvd., Suite 304
 Coral Gables, Florida 33134
 AR 9946

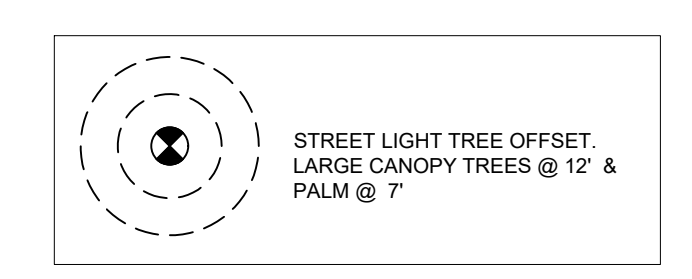


Broward County Landscape Legend/Requirements

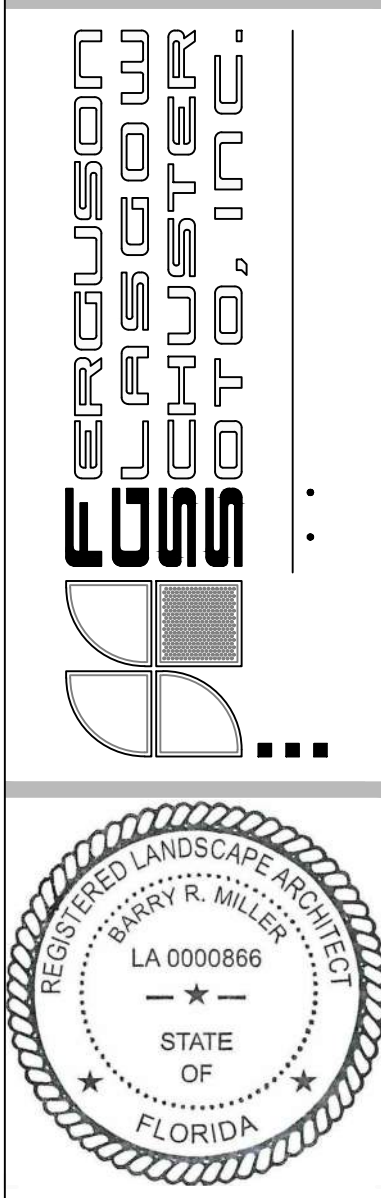
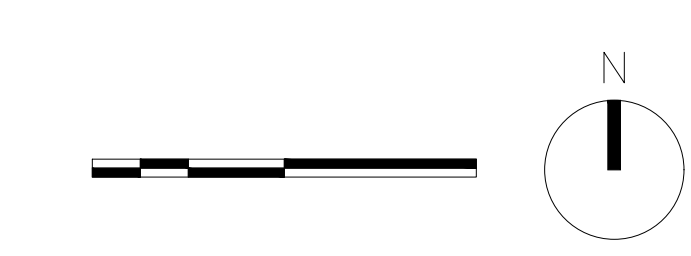
Zone (BROWARD MUNICIPAL SERVICES DISTRICT)	B-3 (Intense Commercial Business)	Lot Area (SQFT)	46,420 Acres	1.07
Open Space Requirement		Impervious	31,952	68.8%
The area covered by structures and impervious surfaces shall not exceed seventy-five percent		Pervious	14,468	31%
Lot Area		Max Proposed	32,494	31,952
Shade Tree/Buffer Requirement		Sec. 39-87(a)		
Any property line abutting a public thoroughfare: 1 shade tree spaced 30 ft. on center		Spacing (FT)	Tree Qty	Over Head Electric (x2)
NORTH BUFFER LINE	212	30	7	7
EAST BUFFER LINE	202	30	7	7
SOUTH BUFFER LINE	246	30	8	16
WEST BUFFER LINE	161	30	5	5
Existing Shade Tree W/ 25' of Property Line			1	
		Total Shade Tree	35	33
Overhead Powerlines		Sec. 39-87(b)(2)(d)		
If overhead powerlines occur within the perimeter buffer area, then small trees may be substituted at the rate of two (2) small trees (less than fifteen (15) feet in height) to replace each required perimeter large tree.				
Palm Requirement		Sec. 39-87(b)(2)(e)		
No more than (30%) of required shade trees shall be palms, where every (3) palms shall equal (1) required shade tree. Palms shall be a minimum height of (16) feet		Max	Proposed	
Shade Tree/Buffer Requirement	35	x	30%	= 11 Qty
Lot Tree Requirement		Sec. 39-87(a); (b)(2)(c)		
1 TREE PER 2,000 SQFT OF LOT AREA			Required	Proposed
total lot area	46,420	/	2000	= 23 Qty
			Required	Proposed
			23	46
		*** Required perimeter trees and parking island shade trees shall count toward the required open space tree requirements.***		
		Trees/Palms at installation		
		Large tree (Mature > 25') 12' ht	Medium tree (15'-25') 10' ht	Small tree (<15') 18' ht
Native Requirement		Sec. 39-83(a)(2)		
(50%) of vegetation is required to be planted by this article shall be native to South Florida, consistent with NatureScape principles and Florida-Friendly		Required	Proposed	
total trees	46	x	50%	= 23 Qty
			Required	Proposed
			23	42
Palm Requirement		Sec. 39-83(d)(2)		
Palms shall constitute no more than thirty-five percent (35%) of the total tree requirements.		Max	Proposed	
Total trees	46	x	35%	= 16 Qty
			Required	Proposed
			16	4
Parking Islands/ VJA Trees (Vehicular Use Areas)		Sec. 39-87(a); (b)(11)		
Parking islands; required trees or palms. There shall be a minimum of one (1) tree or palm required for each parking island, with the following specifications at installation: a. Trees shall be a minimum of twelve (12) feet in ht and trunk DBH of (2) in; or b. Palms shall be a minimum (1) multiple trunk palm, with at least (3) trunks, or a group of at least (3) single trunk palms with a minimum overall ht of (16) feet.		Required	Proposed	
Total Parking Islands	11	x	1	= 11 total trees
			Required	Proposed
			11	7
Soil Volume Requirement		Sec. 39-87(b)(10)		
135 square foot island size (9' x 15') for small trees or palms				
225 square foot island size (15' x 15') for medium trees or palms				
324 square foot island size (18' x 18') for large trees or palms				
378 square foot island size (21' x 18') for large trees or groups of trees or palms				
486 square foot island size (27' x 18') or larger for larger groups of trees or palms				
Total Site Trees Required			Required	Proposed
Shade Trees & Parking Island Trees			46	40
Lot Trees			23	2
Mitigation Required Trees			4	4
		Total Trees	50	46
Shrub Requirement		Sec. 39-87(a)		
9 SHRUBS PER EVERY 2,000 SQFT OF LOT AREA			Required	Proposed
Lot Area	46,420	/	2000	= 232 Qty
			Required	Proposed
			232	1124
Native Requirement		Sec. 39-87(b)(3)(b)		
A minimum fifty percent (50%) of required shrubs shall be listed native species in the				
Shrub total	1124	/	50%	= 562 Qty
			Required	Proposed
			562	1003
Shrubs at Installation		Sec. 39-87(b)(3)(a)		
All shrubs shall be a minimum of eighteen (18) inches in ht, immediately after planting, and spaced a maximum of thirty (30) inches on center.				
Foundation Planting		Sec. 39-87(a)		
20% of building frontage facing widest right-of-way		Required	Proposed	
Building East Side ROW (125'-2')	125.166	*	20%	= 25 Linear ft
			Required	Proposed
			25	115.5
Turf Area Requirement		Sec. 39-83(h)(3)		
Turf areas shall be identified on the landscape plan and be subject to the requirement that no more than 50% of the landscaped area may be in turf.		Max	Proposed	
Total pervious	14,468	/	50%	= 7,234 Sqft
			Required	Proposed
			7,234	6,681

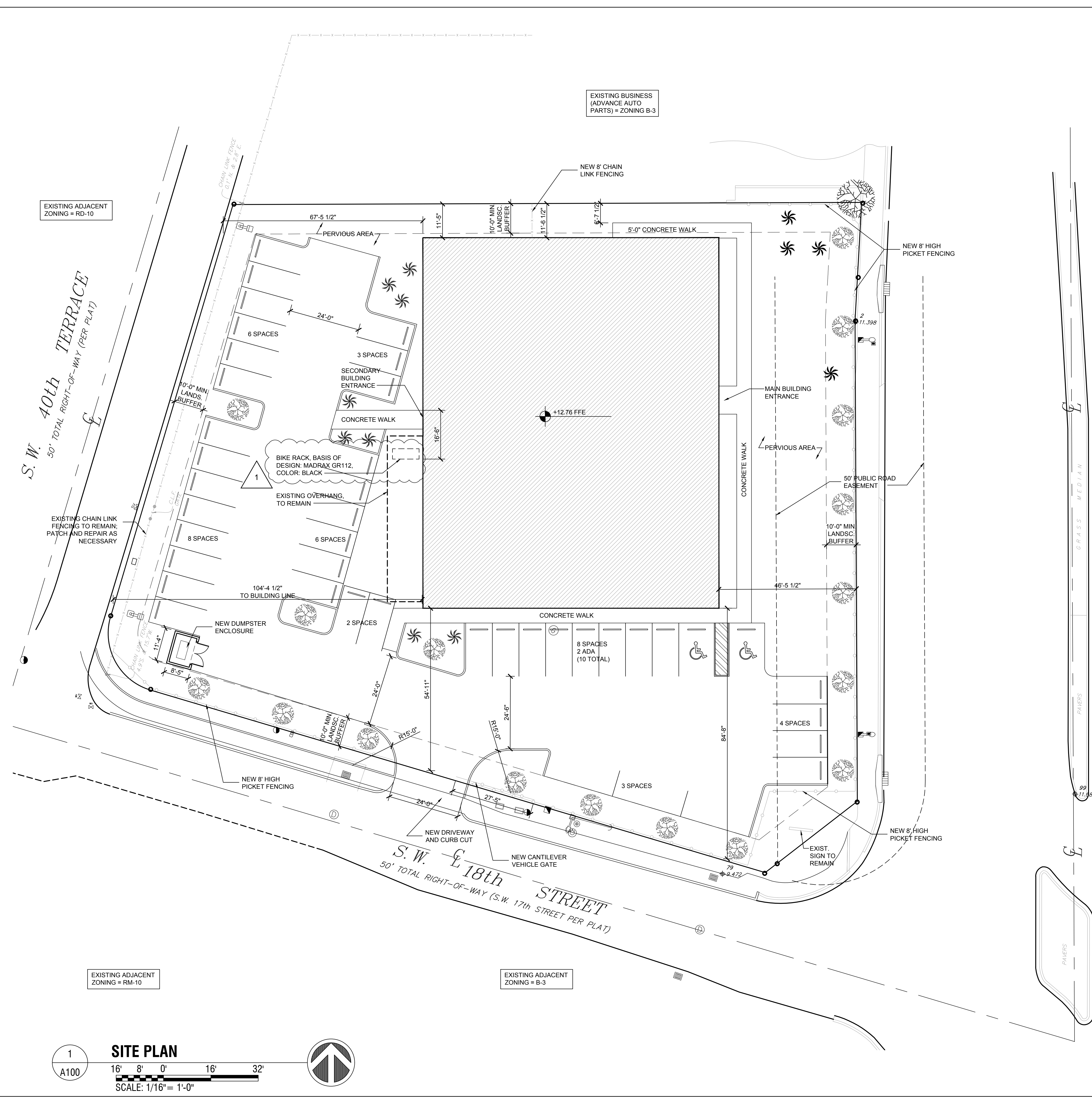
IUEC 71 OFFICES - PLANTING SCHEDULE - SD

TREES	Quantity	Botanical/Common	Cont	DBH	Height	Spread	Remarks	FFL	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
CIF	14	Citharexylum spinosum / Fiddlewood	B&B	3"	7'-8' Ht.	4'-5' Spr.	Single Leader	Y	Y	FFL	PSH-FS	High	Medium
DER	2	Delonix regia / Royal Poinciana	B&B	3.5"	12'-14' Ht.	8'-9' Spr.	No root girdling, 6' C.T.	Y	Y	FS	High	High	
LYL	5	Lysiloma latisiliqua / Wild Tamarind	B&B	3"	9'-10' Ht.	12'-14' Spr.	Multi-Trunk, 6' C.T.	Y	Y	FS	Medium	High	B, BF, C
SWM	17	Swietenia mahogany / Mahogany	B&B	4"	14'-16' Ht.	6'-7' Spr.	6' Clear Trunk	Y	Y	PSH-FS	High	High	BF
TAD	4	Taxodium distichum / Bald Cypress	15 Gal.	3"	10'-12' Ht.	6'-8' Spr.	Single Leader (Mitigation Trees)	Y	Y	FS	Medium	Medium	B, C
Total	42												
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, N - Native													
PALMS	Quantity	Botanical/Common	Cont	DBH	Size	Spr	Remarks	FFL	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
THR	2	Thrinax radiata / Florida Thatch palm	B&B	3"	9'-10' OA Ht.	14'-15' Spr.	6' C.T. TRIPLE TRUNK	Y	Y	PSH-FS	High	High	B
VEM2	2	Veitchia montgomeryana / Montgomery Palm	B&B	4"	12'-14' OA Ht.	14'-15' Spr.	6' C.T. TRIPLE TRUNK	Y	Y	PSH-FS	Medium	Medium	
Total	4	Total NATIVE TREES											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, N - Native													
SHRUBS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	FFL	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
CHI	341	Chrysobalanus icaco / Redtip Cocoplum	3 Gal.		18"-24" OA Ht.	30" O.C.		Y	Y	PSH-FS	High	Medium	B, BF
JAV	83	Jasminum volubile / Wax Jasmine	3 Gal.		18"-24" OA Ht.	24" O.C.							
MOD	38	Monstera deliciosa / Monstera	3 Gal.		18"-24" OA Ht.	30" O.C.					Low		
TRD	132	Tripsacum dactyloides / Fakahatchee Grass	3 Gal.		24"-30" OA Ht.	30" O.C.			Y	PSH-FS	High	Medium	B, C
Total	680												
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, N - Native													
GROUNDCOVERS	Quantity	Botanical/Common	Cont	DBH	Size	Spacing	Remarks	FFL	Native	Sun Req.	Salt Tolerance	Drought Tol.	Wildlife
ERL	60	Erodia litoralis / Beach Creeper	3 Gal.		12"-18" OA Ht.	30" O.C.		Y	Y	PSH-FS	Medium	High	B, BF
IPP	190	Ipomoea pes-caprae / Railroad Vine	3 Gal.		12"-18" OA Ht.	24" O.C.	ALT BEACH CREEPER	Y	Y	FS	High	High	BF
NEE	194	Nephtrolepis exaltata / Boston Fern	1 Gal.		12"-18" OA Ht.	18" O.C.		Y	Y	PSH-FS	None	Medium	
Total	444	Total NATIVE SHRUBS											
Legend: B - Birds, BE - Bees, BF - Butterfly, C - Caterpillar, N - Native													
LAWN + MISC	Quantity	Name/Description	Size	Depth	Remarks								
SOD	6,696	St. Augustine "Floritam"	SOFT										
MUL	2,500	Mulch	SOFT		See General Notes								
GRV	363	Pea gravel	SOFT		Maintenance Path								



002-SP-24
IUEC LOCAL 71 HEADQUARTERS
08/26/2024
FINAL SITE PLAN APPROVAL





EXISTING ADJACENT ZONING = RD-10

EXISTING BUSINESS (ADVANCE AUTO PARTS) = ZONING B-3

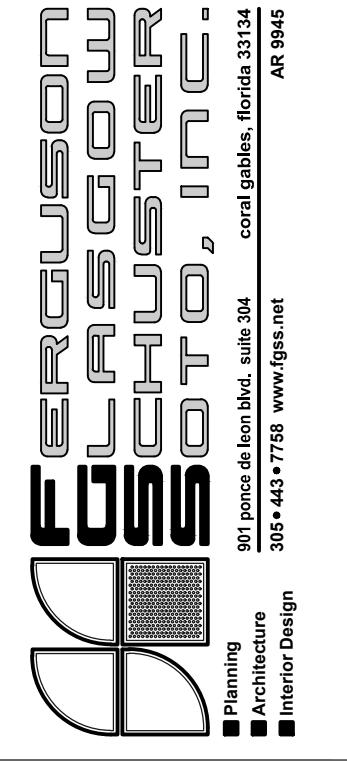
EXISTING ADJACENT ZONING = RM-10

EXISTING ADJACENT ZONING = B-3

ZONING INFORMATION: BROWARD COUNTY		
SITE ZONING: B-3 INTENSE COMMERCIAL DISTRICT		
GROSS SITE AREA: 46,414 SQ FT		
NET SITE AREA (GROSS AREA EXCLUDING EASEMENTS): 41,345 SQ FT		
	REQUIRED	PROVIDED
BUILDING SETBACKS CONTIGUOUS TO RESIDENTIAL ZONED PLOT	25 FT. MIN.	N/A
SEPARATED FROM RESIDENTIAL ZONED PLOT BY STREET	10 FT. MIN.	NORTH SETBACK: 11' - 5" EAST SETBACK: 46' - 5" SOUTH SETBACK: 54' - 11" WEST SETBACK: 67' - 5"
BUILDING HEIGHT	35 FT. MAX. WITHIN 100 FT OF ANY RESIDENTIAL ZONED PLOTS	EXISTING BLDG HEIGHT: 18' - 2" PROPOSED BLDG HEIGHT: 18' - 2"
PLOT COVERAGE	35% MAX. OF NET ACREAGE	NET LOT AREA: 41,345 SQ FT EXIST. COVERAGE: 12,520 SQ FT = 30.2% PROPOSED COVERAGE: 12,520 SQ FT = 30.2%
LANDSCAPE REQS PERIMETER BUFFER ABUTTING A PUBLIC THOROUGHFARE	MIN 10 FT. ON LOTS OVER 25,000 SQ FT IN SIZE	10' - 0"
NOT ABUTTING PUBLIC THOROUGHFARE	MIN 10 FT. ON LOTS OVER 20,000 SQ FT IN SIZE	10' - 0"
IMPERVIOUS AREA	NOT TO EXCEED 70% FOR COMMERCIAL USES	TOTAL LOT AREA: 46,414 SQ FT EXIST. IMPERVIOUS AREA: 34,274.8 SQ FT = 73.8% PROPOSED IMPERVIOUS AREA: 31,952 SQ FT = 68.8%

OFFSTREET PARKING REQUIREMENTS		
SITE ZONING: B-3 INTENSE COMMERCIAL DISTRICT		
PROPOSED BUILDING USE	REQUIRED	
PRIMARY: BUSINESS AND PROFESSIONAL OFFICE HOURS OF OPERATION: 8:30 AM - 5:30 PM, MON-FRI	1 PARKING SPACE / 250 SF OF GROSS FLOOR AREA	5,167 GSF / 250 = 21 SPACES
	TOTAL REQUIRED = 21 PARKING SPACES	
PROPOSED BUILDING USE	REQUIRED	
SECONDARY: BUSINESS, TRADE AND VOCATIONAL SCHOOL HOURS OF OPERATION: 5:30 PM-9:30 PM, MON-FRI	1 PARKING SPACE / 60 SF OF CLASSROOMS	2,081 SF / 60 = 35 SPACES
	1 PARKING SPACE / 200 SF OF REMAINING AREAS	980 SF / 200 = 5 SPACES
	TOTAL REQUIRED PARKING SPACES = 40 PARKING SPACES	
BICYCLE PARKING	18 SPACES = OFFSET OF 3 PARKING SPACES (SEE NOTES BELOW)	
PARKING TOTALS	TOTAL REQUIRED ON-SITE = 38 PARKING SPACES	
	TOTAL PROVIDED ON-SITE = 41 PARKING SPACES (2 ADA PARKING SPACES INC.)	

- PARKING CALCULATION NOTES**
- CODE REFERENCE: BROWARD COUNTY CODE OF ORDINANCES, SECTION 39-222, SHARED USAGE.
 - THE PRIMARY USE OF THE BUILDING IS PROFESSIONAL OFFICE. HOURS OF OPERATION ARE MON-FRI, 8:30 AM-5:30 PM.
 - THE SECONDARY USE OF THE BUILDING IS A VOCATIONAL SCHOOL. HOURS OF OPERATION ARE MON-FRI, 5:30 PM-9:30 PM, AFTER THE PROFESSIONAL OFFICE IS CLOSED.
 - A COVENANT WILL BE RECORDED OUTLINING THE SHARED PARKING CALCULATIONS AND HOURS OF OPERATION. A SEPARATE CERTIFICATE OF USE WILL BE FILED TO DISTINGUISH THE TWO USES WITHIN THE PROPERTY.
 - PER BROWARD COUNTY CODE OF ORDINANCES, SECTION 39-230, UP TO THREE REQUIRED PARKING SPACES CAN BE OFFSET BY PROVIDING BICYCLE PARKING WITHIN 20 FEET OF THE BUILDING ENTRANCE. AN 18-BICYCLE CAPACITY RACK WILL BE PROVIDED ON-SITE TO OFFSET THREE PARKING SPACES.



AR 9945
NATIVIDAD SOTO, FAIA

23-08
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	1	7/31/24	SITE PLAN REVIEW COMMENTS

PROJ. NO.: 2023-08
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SITE PLAN

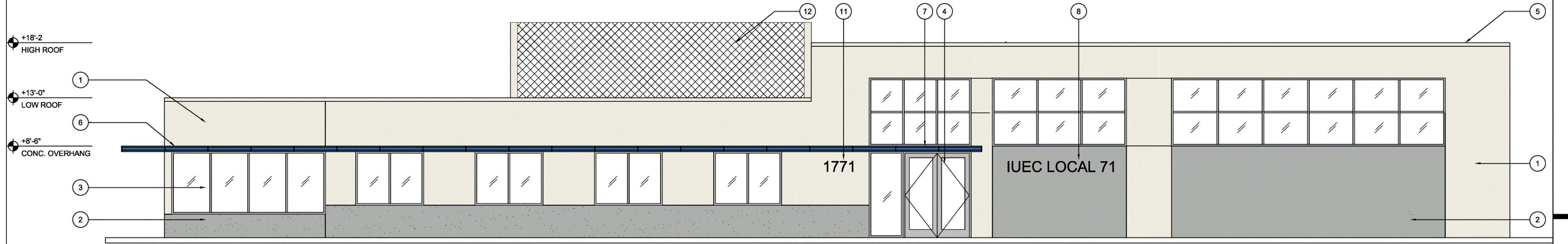
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PRELIMINARY - NOT FOR CONSTRUCTION

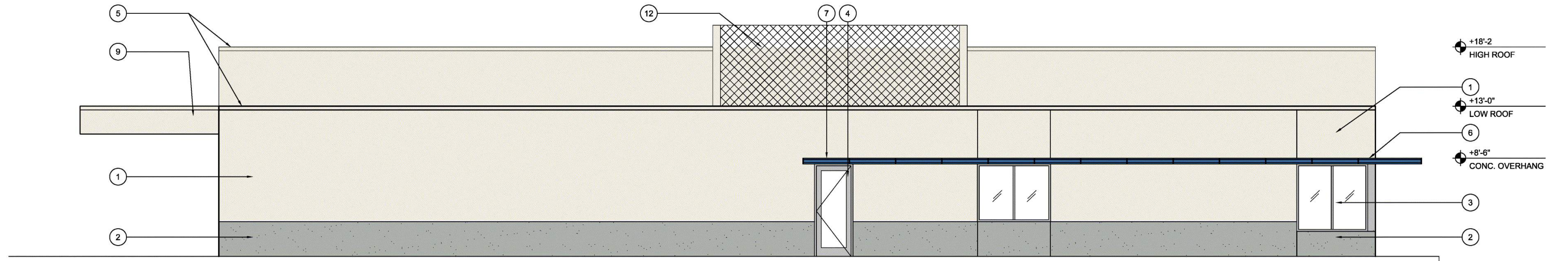
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ELEVATION KEY LEGEND

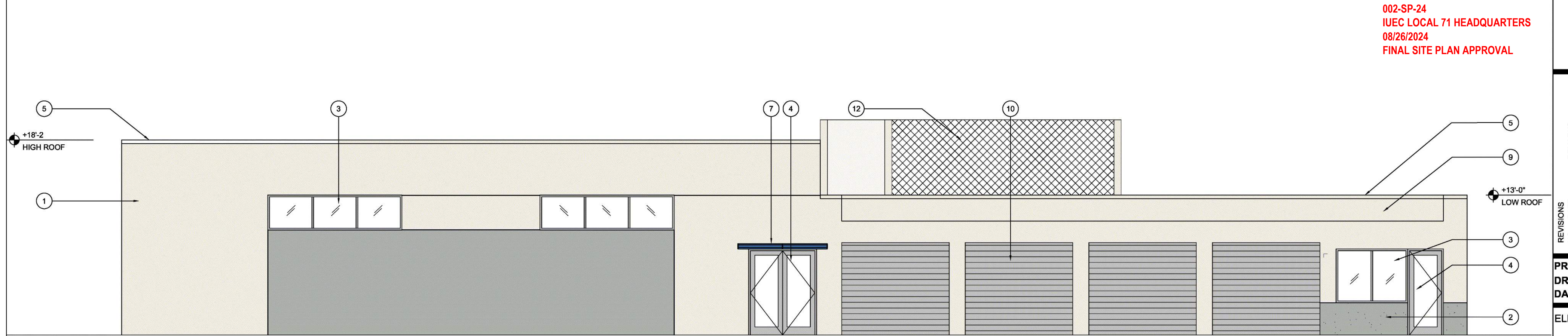
- ① FIELD PAINT: PAINTED STUCCO WITH SMOOTH FINISH ON CONCRETE MASONRY; SHERWIN WILLIAMS, GREEK VILLA SW 7551
- ② ACCENT PAINT: PAINTED STUCCO WITH SMOOTH FINISH ON CONCRETE MASONRY; SHERWIN WILLIAMS, MINERAL DEPOSIT SW 7652
- ③ CLEAR ANODIZED ALUMINUM STOREFRONT W/ GREEN GLASS WITH STATE OF FL HVHZ APPROVAL OR MIAMI-DADE NOA
- ④ CLEAR ANODIZED ALUMINUM STOREFRONT DOOR W/ GREEN GLASS WITH STATE OF FL HVHZ APPROVAL OR MIAMI-DADE NOA
- ⑤ METAL FLASHING; PAINTED TO MATCH STUCCO, NOTE #1
- ⑥ CONSTRUCTION SPECIALTIES "PERFORM" SUNSHADES WITH STRAIGHT OUTRIGGERS, MIDDLE SPAN TUBE, AND PERFORATED METAL COVER MATERIAL. COLOR: ARABIAN BLUE
- ⑦ CONSTRUCTION SPECIALTIES "PERFORM" SUNSHADES WITH STRAIGHT OUTRIGGERS, MIDDLE SPAN TUBE, AND SOLID METAL COVER MATERIAL. COLOR: ARABIAN BLUE
- ⑧ SIGNAGE UNDER SEPARATE PERMIT
- ⑨ EXISTING CONCRETE OVERHANG, TO REMAIN. PAINT TO MATCH FIELD COLOR.
- ⑩ EXISTING ROLL-UP DOORS, TO REMAIN.
- ⑪ ADDRESS NUMBERS
- ⑫ MECHANICAL EQUIPMENT SCREEN



1 East Elevation
A-200 Scale: 3/16"=1'-0"



2 South Elevation
A-200 Scale: 3/16"=1'-0"



3 West Elevation
A-200 Scale: 3/16"=1'-0"

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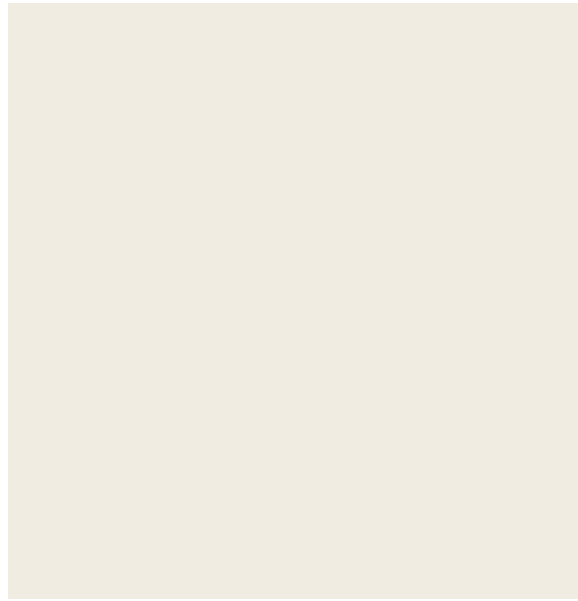
REVISIONS NO.	DATE	REMARKS

PROJ. NO.: 2023-08
DRAWN BY: ARG/MKG
DATE: 4/19/2024

ELEVATIONS



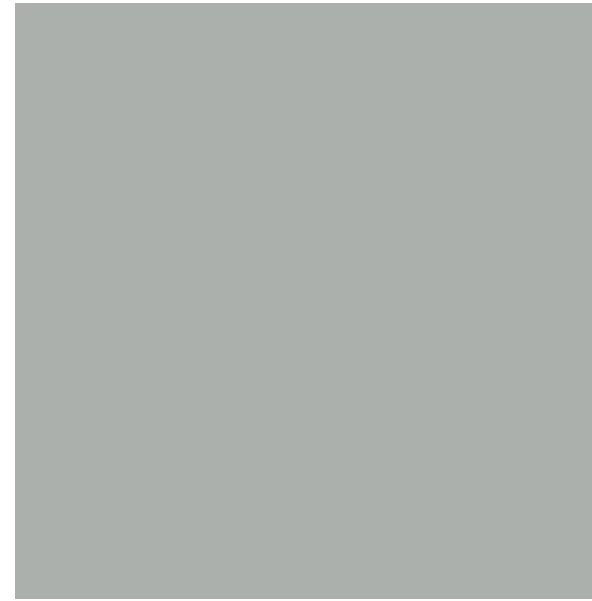
SMOOTH STUCCO FINISH



EXTERIOR PAINT - FIELD
SW 7551 - GREEK VILLA



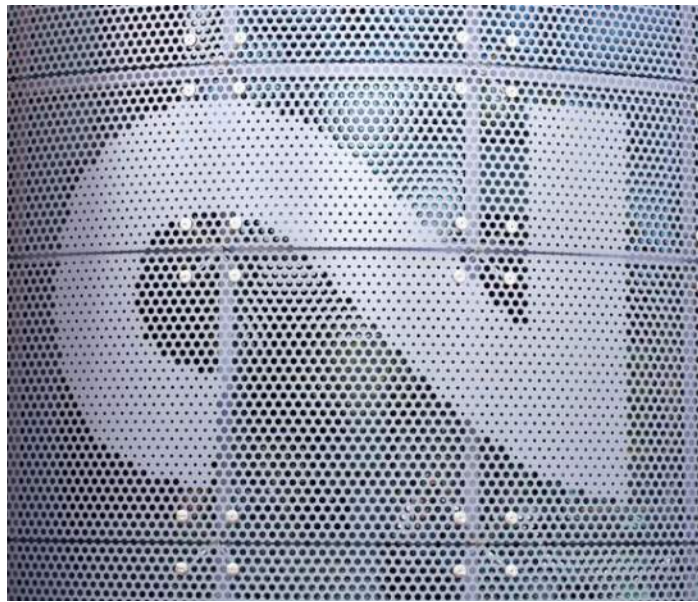
ROUGH STUCCO FINISH



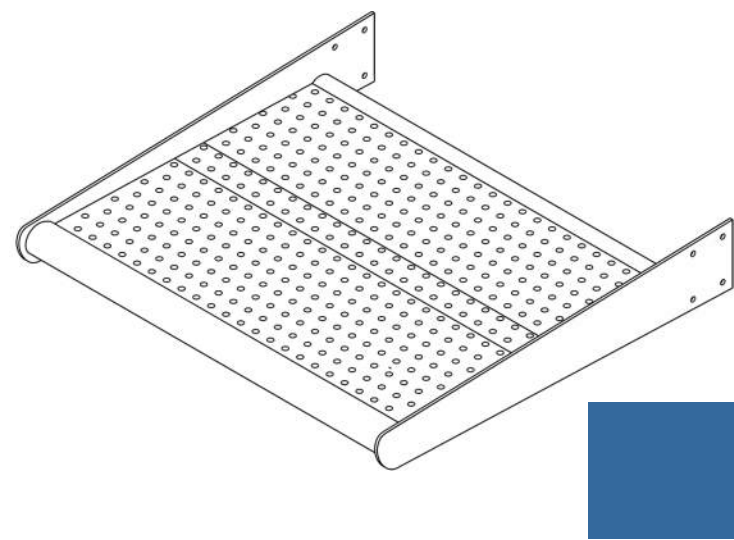
EXTERIOR PAINT - ACCENT
SW 7652 - MINERAL DEPOSIT



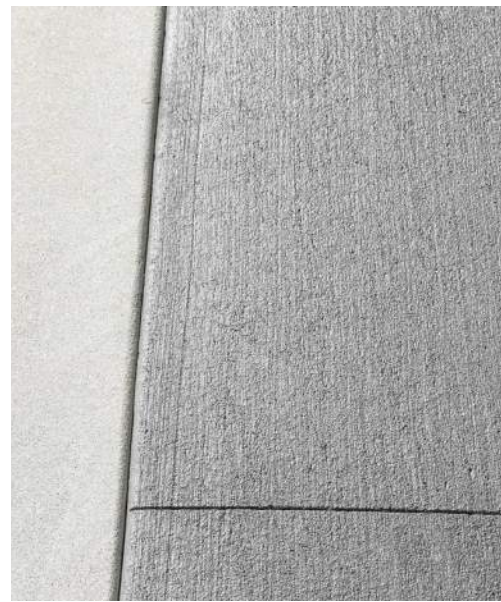
EXTERIOR STOREFRONT SYSTEM
ANODIZED ALUM. FINISH



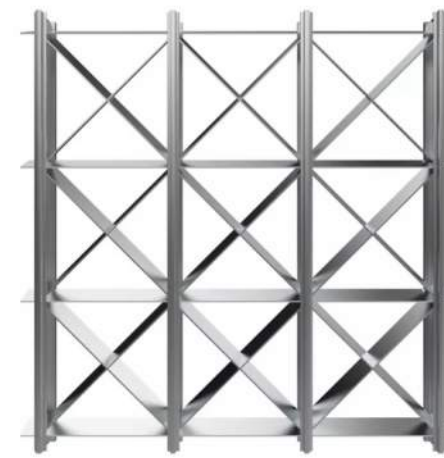
PERFORATED METAL SIGNAGE
MATERIAL IMAGE ONLY - FINAL SIGN DESIGN WILL BE
UNDER SEPARATE PERMIT



HORIZONTAL SUN SHADES - CS GROUP
PERFORM SUNSHADES - ARABIAN BLUE



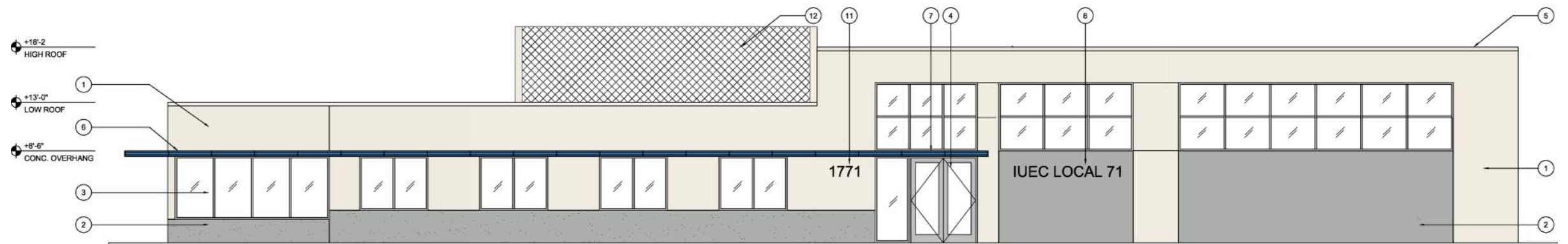
EXTERIOR SIDEWALK
BROOMED FINISH; COLOR TO MATCH
EXISTING



MECHANICAL SCREEN
CS GROUP - MYRIAD XXX



METAL PICKET FENCING
AMERISTAR - MONTAGE COMMERCIAL - BLACK



002-SP-24
IUEC LOCAL 71 HEADQUARTERS
08/26/2024
FINAL SITE PLAN APPROVAL