

BOULEVARD GARDENS

PROJECT LOCATED AT:
17 NW 27th AVENUE,
BROWARD COUNTY, FL. 33311

SITE PLAN REVIEW
(BROWARD COUNTY, FLORIDA, CODE OF ORDINANCES, SEC.39-411)

JANUARY 24th 2025

REVISIONS

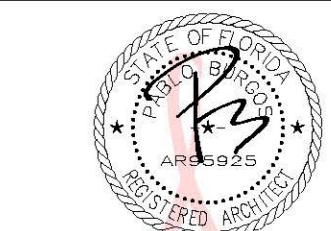
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2319

BOULEVARD GARDENS
FOR
LANDMARK DEVELOPERS, INC
LOCATED AT:
17 NW 27th AVENUE, BROWARD COUNTY, FL. 33311

BURGOS LANZA & ASSOCIATES
1248 S. ALHAMBRA CIRCLE
CORAL GABLES, FL 33146
(786) 554-9035
AIA 38052598
WWW.BURGOSLANZA.COM
CARLOS LANZA ARCHITECT A R 044991
PABLO BURGOS ARCHITECT A R 008928



Digitally signed by
Pablo Burgos
Date: 2025.01.24
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DATE: 12/15/23
DRAWN: CR
SCALE: N.T.S

COVER SHEET
ZONING

SCALE: N.T.S

AA-000

○ SURVEY

KEITH
301 E ATLANTIC BOULEVARD
POMPANO BEACH, FL 33060
(954) 788-3400
TDONAHUE@KEITHTEAM.COM

○ CIVIL

KIMLEY-HORN
2 ALHAMBRA PLAZA, SUITE 500,
CORAL GABLES, FL 33134
(305) 535-7770
ALBERTO.MORA@KIMLEY-HORN.COM
MONICA.POWERS@KIMLEY-HORN.COM

○ LANDSCAPE ARCHITECT

M.L.A. GROUP, INC.
401 E. LAS OLAS BLVD S 130 #427
FORT LAUDERDALE, 33301
954-763-4071
MLAGROUPINC@YAHOO.COM

○ ARCHITECT

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(786) 554-9035
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REFER TO CIVIL DWG FOR:
 1. PAVEMENT MARKING AND SIGNAGE PLAN.
 2. PAVING, DRAINAGE & GRADING PLAN.
 3. WATER AND SEWER PLAN.

REVISIONS

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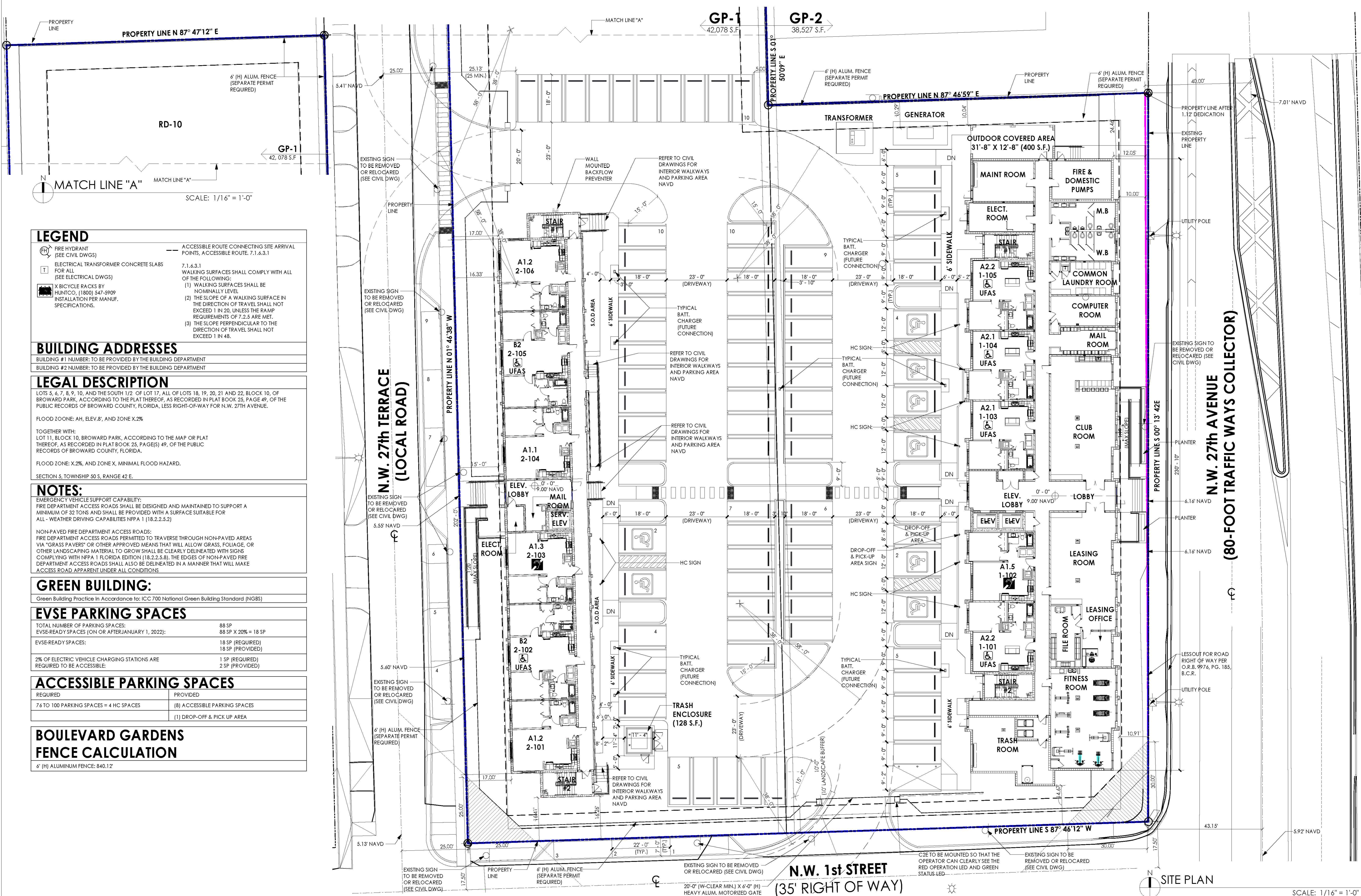
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 Pablo Burgos
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 SCALE: 1/8" = 1'-0"

SITE PLAN

SCALE: 1/16" = 1'-0"

AA-004.



LEGEND

- (FH) FIRE HYDRANT (SEE CIVIL DWGS)
- ELECTRICAL TRANSFORMER CONCRETE SLABS FOR ALL (SEE ELECTRICAL DWGS)
- ⊗ BICYCLE RACKS BY HUNTCO, (1800) 547-5909. INSTALLATION PER MANUF. SPECIFICATIONS.
- ACCESSIBLE ROUTE CONNECTING SITE ARRIVAL POINTS, ACCESSIBLE ROUTE, 7.1.6.3.1
- 7.1.6.3.1 WALKING SURFACES SHALL COMPLY WITH ALL OF THE FOLLOWING:
 - (1) WALKING SURFACES SHALL BE NOMINALLY LEVEL
 - (2) THE SLOPE OF A WALKING SURFACE IN THE DIRECTION OF TRAVEL SHALL NOT EXCEED 1 IN 20, UNLESS THE RAMP REQUIREMENTS OF 7.2.5 ARE MET
 - (3) THE SLOPE PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL NOT EXCEED 1 IN 48.

BUILDING ADDRESSES

BUILDING #1 NUMBER: TO BE PROVIDED BY THE BUILDING DEPARTMENT
 BUILDING #2 NUMBER: TO BE PROVIDED BY THE BUILDING DEPARTMENT

LEGAL DESCRIPTION

LOTS 5, 6, 7, 8, 9, 10, AND THE SOUTH 1/2 OF LOT 17, ALL OF LOTS 18, 19, 20, 21 AND 22, BLOCK 10, OF BROWARD PARK, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, LESS RIGHT-OF-WAY FOR N.W. 27TH AVENUE.

FLOOD ZONE: AH, ELEV. 8', AND ZONE X, 2%

TOGETHER WITH: LOT 11, BLOCK 10, BROWARD PARK, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

FLOOD ZONE: X, 2%, AND ZONE X, MINIMAL FLOOD HAZARD.

SECTION 5, TOWNSHIP 50 S, RANGE 42 E.

NOTES:

EMERGENCY VEHICLE SUPPORT CAPABILITY: FIRE DEPARTMENT ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT A MINIMUM OF 32 TONS AND SHALL BE PROVIDED WITH A SURFACE SUITABLE FOR ALL - WEATHER DRIVING CAPABILITIES NFPA 1 (18.2.2.5.2)

NON-PAVED FIRE DEPARTMENT ACCESS ROADS: FIRE DEPARTMENT ACCESS ROADS PERMITTED TO TRAVERSE THROUGH NON-PAVED AREAS VIA "GRASS PAVERS" OR OTHER APPROVED MEANS THAT WILL ALLOW GRASS, FOLIAGE, OR OTHER LANDSCAPING MATERIAL TO GROW SHALL BE CLEARLY DELINEATED WITH SIGNS COMPLYING WITH NFPA 1 FLORIDA EDITION (18.2.2.5.8). THE EDGES OF NON-PAVED FIRE DEPARTMENT ACCESS ROADS SHALL ALSO BE DELINEATED IN A MANNER THAT WILL MAKE ACCESS ROAD APPARENT UNDER ALL CONDITIONS

GREEN BUILDING:

Green Building Practice In Accordance to: ICC 700 National Green Building Standard (NGBS)

EVSE PARKING SPACES

TOTAL NUMBER OF PARKING SPACES: 88 SP
 EVSE-READY SPACES (ON OR AFTER JANUARY 1, 2022): 88 SP X 20% = 18 SP

EVSE-READY SPACES: 18 SP (REQUIRED)
 18 SP (PROVIDED)

2% OF ELECTRIC VEHICLE CHARGING STATIONS ARE REQUIRED TO BE ACCESSIBLE: 1 SP (REQUIRED)
 2 SP (PROVIDED)

ACCESSIBLE PARKING SPACES

| REQUIRED | PROVIDED |
|---|-------------------------------|
| 7.6 TO 100 PARKING SPACES = 4 HC SPACES | (8) ACCESSIBLE PARKING SPACES |
| | (1) DROP-OFF & PICK UP AREA |

(1) DROP-OFF & PICK UP AREA

BOULEVARD GARDENS FENCE CALCULATION

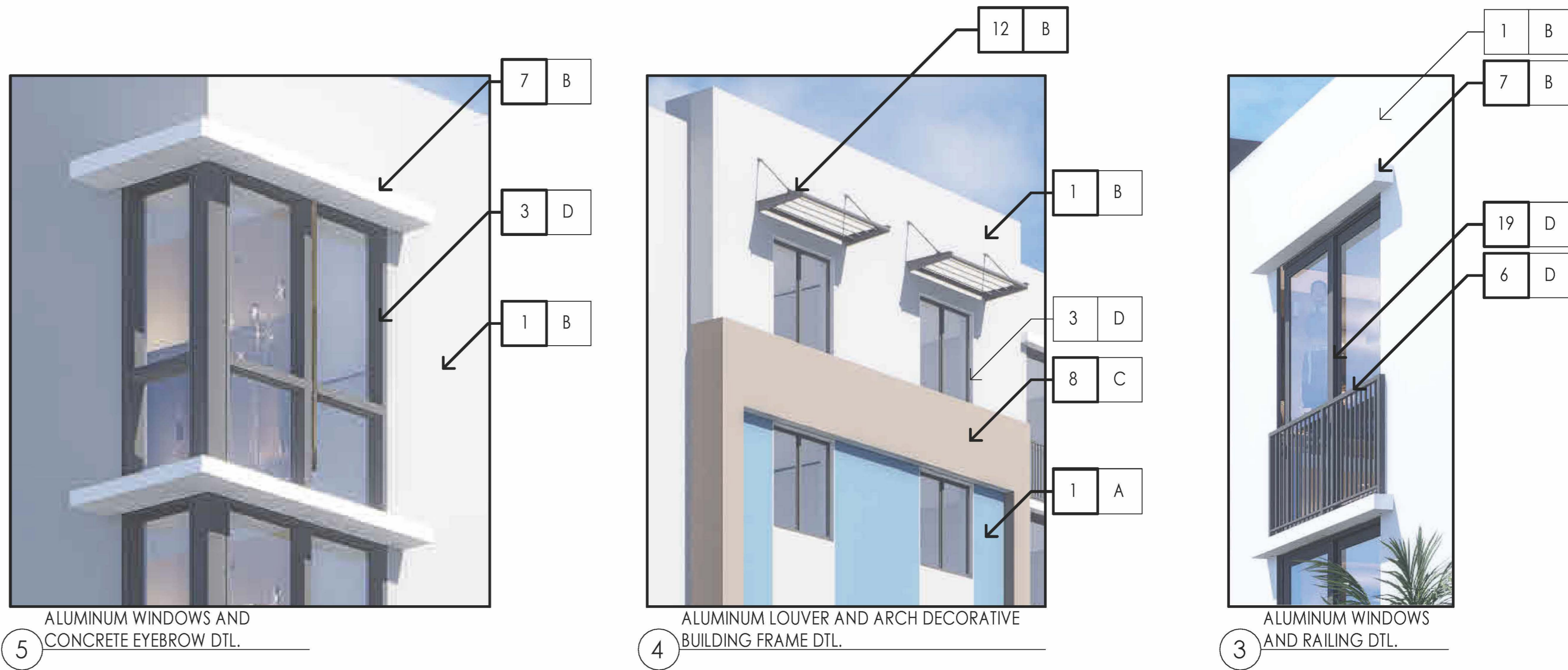
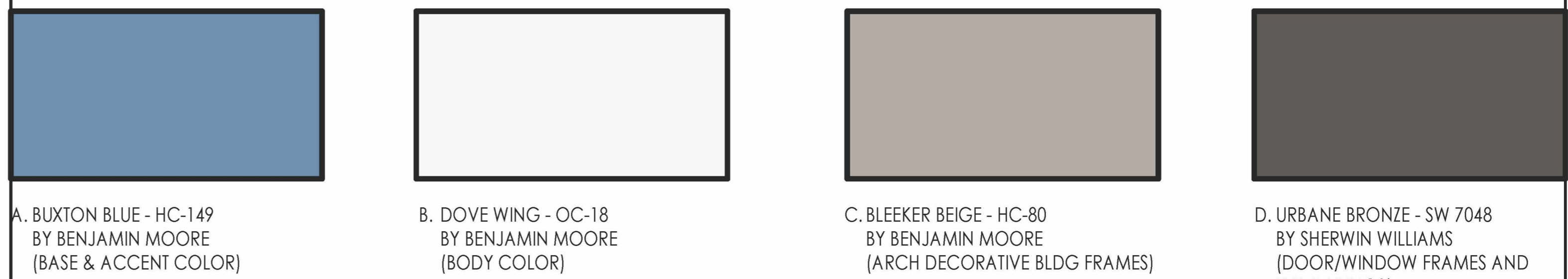
6' (H) ALUMINUM FENCE: 840.12'

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"

| ELEVATION KEY NOTES LEGEND: | |
|-----------------------------|--|
| GENERAL | |
| 1 | SMOOTH TEXTURE STUCCO 5/8" THICK (MIN) |
| 2 | STUCCO SCORE LINES |
| 3 | ALUM. WINDOW IMPACT RESISTANT (SEPARATE PERMIT REQUIRED) |
| 4 | IMPACT RESISTANT DOOR (SEPARATE PERMIT REQUIRED) |
| 5 | METAL DOOR |
| 6 | 42" (H) A.F.F. ALUM RAILINGS (SEPARATE PERMIT REQUIRED) |
| 7 | CONCRETE SLAB EYEBROW (SEPARATE PERMIT REQUIRED) |
| 8 | ARCH DECORATIVE BUILDING FRAME |
| 9 | SCUPPERS W/ DOWNSPOUT |
| 10 | BUILDING ADDRESS NUMBER |
| 11 | ALUM. GUARDRAL (SEPARATE PERMIT REQUIRED) |
| 12 | ALUM. LOUVER EYEBROW (SEPARATE PERMIT REQUIRED) |
| 13 | ROOF TOP MECHANICAL EQUIPMENT BEHIND PARAPET WALL |
| 14 | 4'-0" PARAPET WALL (8" CMU BLOCK) |
| 15 | 5'-6" PARAPET WALL (8" CMU BLOCK) |
| 16 | EXH WALL CAP |
| 17 | CMU PLANTERS |
| 18 | NOT USED |
| 19 | GLASS DOOR |
| 20 | CMU COLUMNS BEYOND |

BUILDING EXTERIOR COLORS:



2 BLDG 2 WEST ELEV. ENLARGEMENT
N.W. 27th TERRACE
1/4" = 1'-0"



1 BLDG 1 EAST ELEV. ENLARGEMENT
N.W. 27th AVENUE
1/4" = 1'-0"

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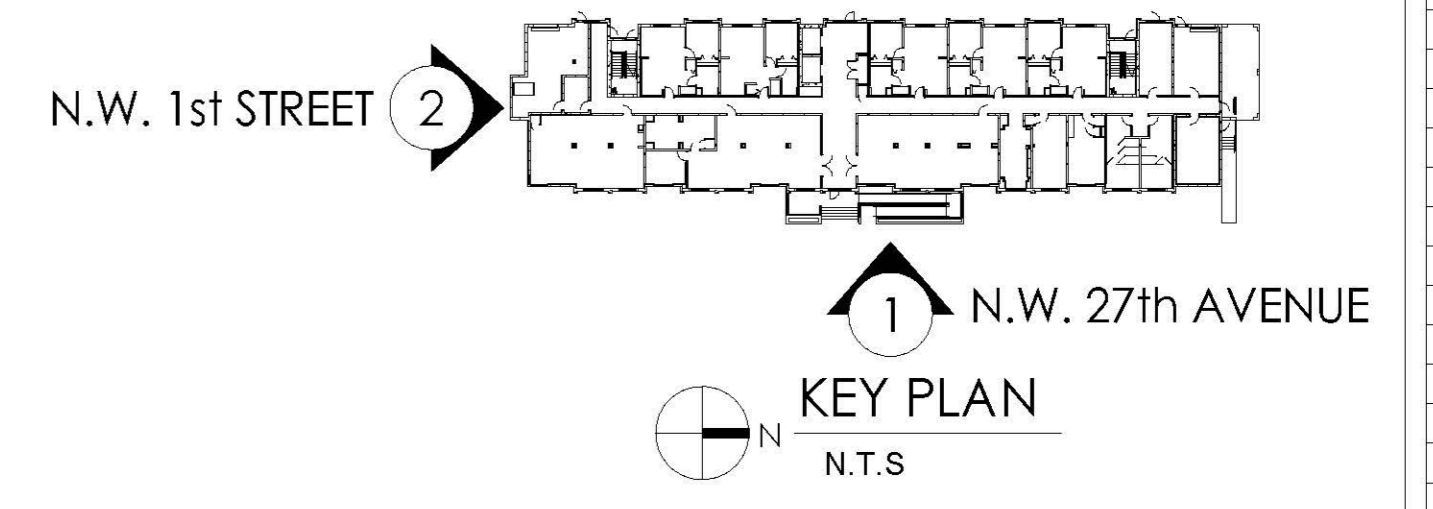
ELEVATIONS ENLARGEMENT
SCALE: N.T.S.
AA-200

ELEVATION KEY NOTES LEGEND:

- GENERAL**
- 1 SMOOTH TEXTURE STUCCO 5/8" THICK (MIN)
 - 2 STUCCO SCORE LINES
 - 3 ALUM. WINDOW IMPACT RESISTANT (SEPARATE PERMIT REQUIRED)
 - 4 IMPACT RESISTANT DOOR (SEPARATE PERMIT REQUIRED)
 - 5 METAL DOOR
 - 6 42" (H) A.F.F. ALUM RAILINGS (SEPARATE PERMIT REQUIRED)
 - 7 CONCRETE SLAB EYEBROW (SEPARATE PERMIT REQUIRED)
 - 8 ARCH DECORATIVE BUILDING FRAME
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 - 10 BUILDING ADDRESS NUMBER
 - 11 ALUM. GUARDRAIL (SEPARATE PERMIT REQUIRED)
 - 12 ALUM. LOUVER EYEBROW (SEPARATE PERMIT REQUIRED)
 - 13 ROOF TOP MECHANICAL EQUIPMENT BEHIND PARAPET WALL
 - 14 4'-0" PARAPET WALL (8" CMU BLOCK)
 - 15 3'-6" PARAPET WALL (8" CMU BLOCK)
 - 16 ALUM. HORIZONTAL LOUVERS
 - 17 CMU PLANTERS
 - 18 NOT USED
 - 19 GLASS DOOR
 - 20 CMU COLUMNS BEYOND

BUILDING INTERIOR & EXTERIOR COLORS:

- EXTERIOR COLORS:**
- A BUXTON BLUE - HC-149 BY BENJAMIN MOORE (BASE & ACCENT COLOR)
 - B DOVE WING - OC-18 BY BENJAMIN MOORE (BODY COLOR)
 - C BLEEKER BEIGE - HC-80 BY BENJAMIN MOORE (ARCH DECORATIVE BLDG FRAMES)
 - D URBANE BRONZE - SW 7048 BY SHERWIN WILLIAMS (DOOR/WINDOW FRAMES AND EXT. RAILINGS)
- INTERIOR COLORS:**
- INTERIOR CORRIDOR WALLS (INCLUDING ELEVATOR LOBBY):
BENJAMIN MOORE'S / CORONADO SUPER KOTE 1000 INTERIOR VYNIL ACRYLIC FLAT FINISH 88 LINE. COLOR: CLIFFSIDE GRAY
 - INTERIOR CORRIDOR AREA DOORS & FRAMES:
BENJAMIN MOORE'S / CORONADO RUSTSCAT ACRYLIC SEMI-GLOSS FINISH 90 SERIES. COLOR: PLATINUM GRAY



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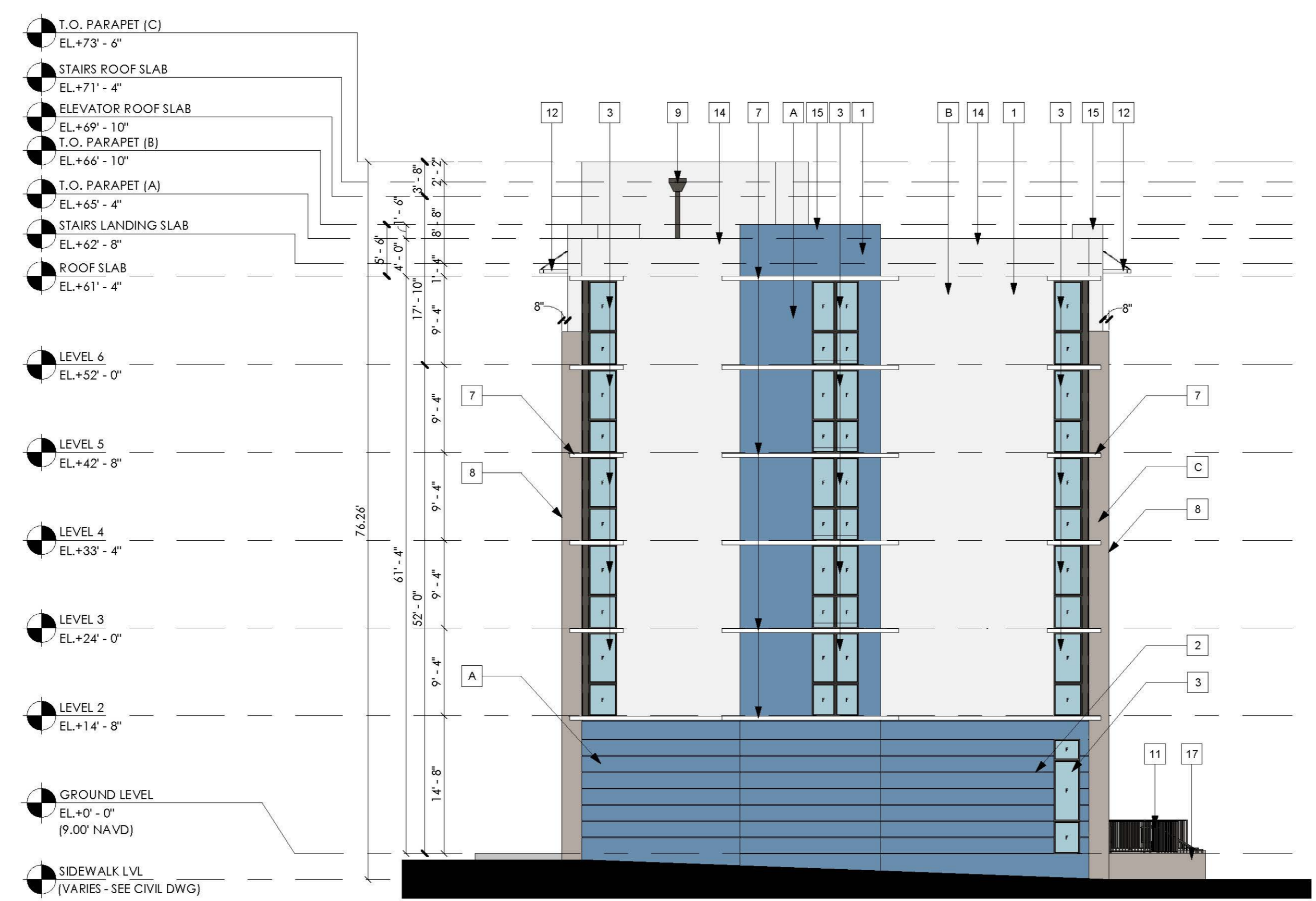
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ARCHITECTS & PLANNERS

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Date: 2025.01.24 17:25:54 -05'00'

DATE: 12/16/23
DRAWN: CR
SCALE: 3/32" = 1'-0"

EAST & SOUTH ELEVATIONS BUILDING 1
SCALE: 3/32" = 1'-0"
AB-201



2 SOUTH ELEVATION
N.W. 1st STREET
3/32" = 1'-0"



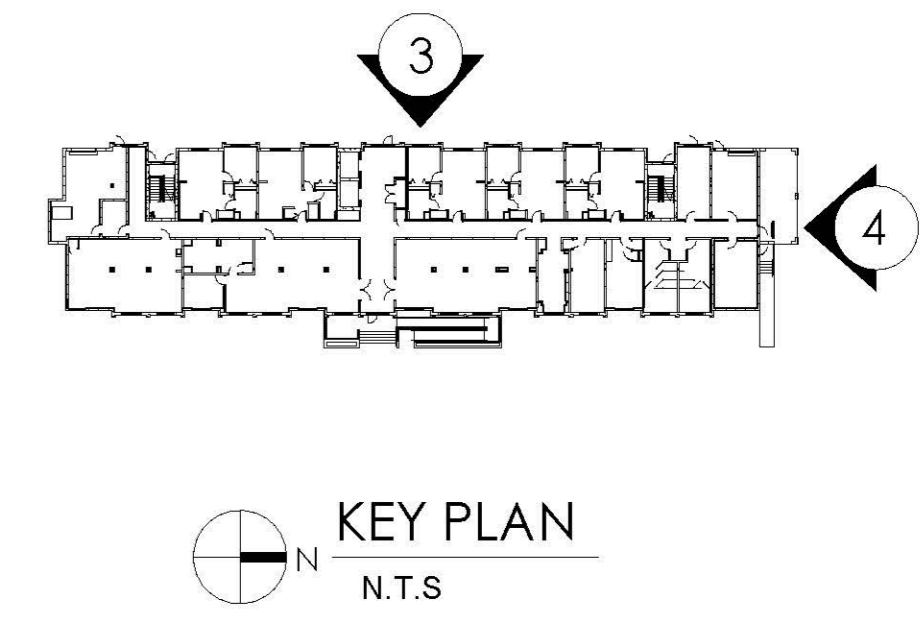
1 EAST ELEVATION
N.W. 27th AVENUE
3/32" = 1'-0"

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 - INTERIOR CORRIDOR AREA DOORS & FRAMES: BENJAMIN MOORE'S / CORONADO RUSTSCAT ACRYLIC SEMI-GLOSS FINISH 90 SERIES. COLOR: PLATINUM GRAY



4 NORTH ELEVATION

3/32" = 1'-0"



3 WEST ELEVATION

3/32" = 1'-0"

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Date: 2025.01.24 17:28:52 -05'00'

DATE: 12/15/23
DRAWN: CR
SCALE: 3/32" = 1'-0"

WEST & NORTH ELEVATIONS BUILDING 1
SCALE: 3/32" = 1'-0"
AB-202

LANDSCAPE REQUIREMENTS

LANDSCAPE PARKING ISLAND
 (1) PARKING ISLAND REQUIRED FOR EVERY 10 PARKING SPACES
 COMPLIED SEE PLAN

PROPERTY LINE ABUTTING A PUBLIC THOROUGHFARE
 SHADE TREES: (1) SHADE TREE PER 30 LF O.C
 248/30 = 9 TREES REQUIRED
 PROPOSED = 9

PARKING ISLANDS
 (1) SHADE TREE PER LANDSCAPE ISLAND
 15 LANDSCAPE ISLANDS
 TREES REQUIRED = 15
 PROPOSED = 15

TOTAL TREES REQUIRED = 64
 TOTAL TREES PROPOSED = 64
 MAX PALMS ALLOWED = 30% = 19
 PALMS USED TOWARDS CODE AT 3:1 = 13
 PALMS USED 1:1 = 3

OPEN SPACE:
 (1) TREE PER 2,000 SF. OF LOT AREA
 80,525 SF./2000 = 40 TREES REQUIRED
 PROPOSED = 40

ANY PROPERTY LINE ABUTTING A PUBLIC THOROUGHFARE:
 (1) CONT. HEDGE, EXCEPT FOR INGRESS/EGREES
 HEDGE IS PROPOSED

ANY PROPERTY LINE ABUTTING A PUBLIC THOROUGHFARE:
 (1) CONT. HEDGE WHEN ABUTTING SINGLE FAMILY OR DUPLEX RESIDENTIAL
 HEDGE IS PROPOSED

NOTE: REFER TO SHEET L-2 FOR PLANTING DETAILS AND SPECIFICATIONS. PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST. CONTRACTOR SHALL DO TAKE OFF FROM PLANS TO VERIFY PLANT QUANTITIES. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ABOVE AND UNDERGROUND UTILITIES PRIOR TO STARTING WORK. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT IF CONFLICTS ARISE IN THE FIELD THAT PROHIBIT THE CONTRACTOR FROM MEETING THE INTENT OF THE DESIGN.

AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED TO COVER ALL LANDSCAPED AREAS PRIOR TO THE FACILITY OPERATION IF NOT ALREADY IN PLACE. CONTRACTOR SHALL REPAIR OR REPLACE ANY EXISTING IRRIGATION EQUIPMENT IN POOR CONDITION. CONTRACTOR SHALL INSTALL AN IRR. RAIN SENSOR IF NOT ALREADY PRESENT. CONTRACTOR SHALL ADJUST IRRIGATION COVERAGE AS NEEDED TO ENSURE ALL PLANT MATERIALS WILL RECEIVE 100% COVERAGE WITH 100% OVERLAP.

SIGHT TRIANGLE NOTE:
 SIGHT TRIANGLES SHALL BE KEPT CLEAR OF ALL LANDSCAPE MATERIALS ABOVE 30" IN HEIGHT AND BELOW 6" IN HEIGHT.

NOTES:
 CONTRACTOR SHALL DO TAKE OFF FROM PLANTING PLAN
 PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IF DISCREPANCIES OCCUR

CONTRACTOR SHALL BE AWARE OF ALL ABOVE AND BELOW GROUND UTILITIES PRIOR TO STARTING WORK.

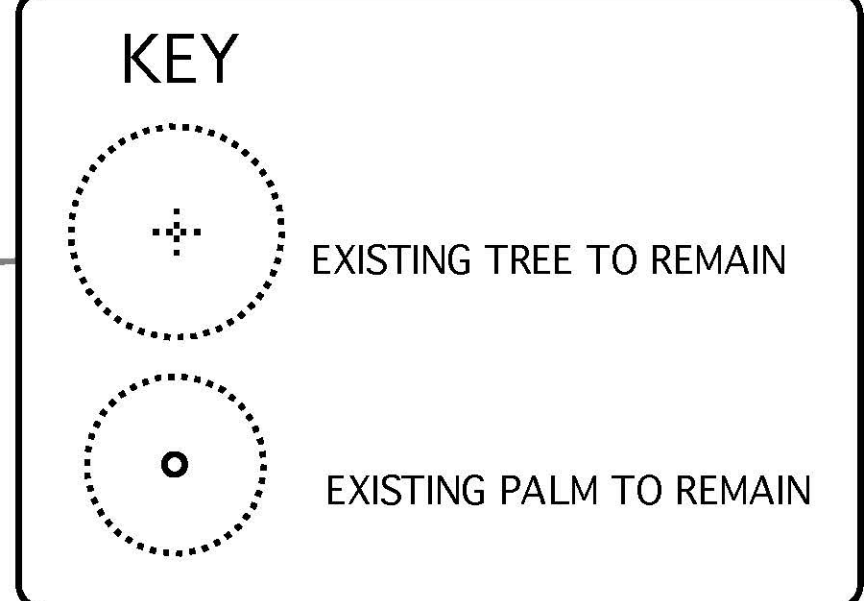
NO TREES SHALL BE LESS THAN 5' FROM ANY CITY OWNED UTILITY LINE. INSTALL ROOT BARRIER BETWEEN CANOPY TREES WHERE SEPARATION TO CURBS, SIDEWALKS, UNDERGROUND UTILITIES, ASPHALT, AND STRUCTURES IS LESS THAN 8'-0"

ALL EXISTING TREES SHALL BE CORRECTLY PRUNED AS NEEDED BY A CERTIFIED ARBORIST TO ELIMINATE ANY HAZARDOUS CONDITIONS.

ALL EXISTING SHRUBS AND GROUND COVERS TO REMAIN SHALL BE IN GOOD CONDITION AT TIME OF LANDSCAPE INSPECTION. ANY PLANTS MISSING OR IN POOR CONDITION SHALL BE REPLACED BY THE CONTRACTOR WITH SAME SPECIES AND SIZE. ALL GAPS IN HEDGE LINES SHALL BE FILLED IN TO CREATE A SOLID APPEARANCE.

REFER TO SHEET L-3 FOR LANDSCAPE DETAILS AND SPECIFICATIONS

REFER TO SHEET IR-1 AND IR-2 FOR IRRIGATION DETAILS AND SPECIFICATIONS

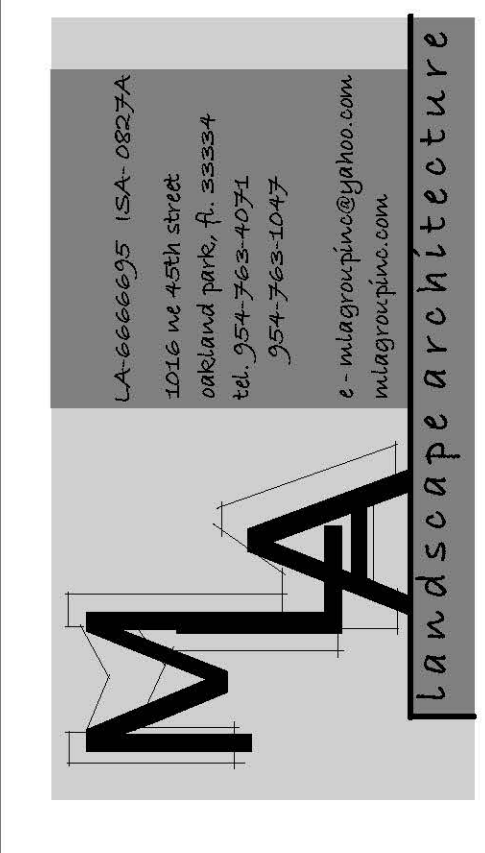


MASTER PLANT LIST

| KEY | PLANT NAME | SPECIFICATION | QUANTITY |
|-------|--|--|----------|
| BS14 | BURSERIA SIMARUBA GUMBO LIMBO | 14'-16" HT. X 4" SPR. 5" CT. B&B FG 3" DBL. NATIVE HIGH DROUGHT TOLERANCE | 5 |
| CAG12 | CAESALPINIA GRANADILLA BRIDALVEIL TREE | 12" HT X 6" SPR. 2.5" DBH. 5" CT. MEDIUM DROUGHT TOLERANCE | 10 |
| MF10 | MYRCIANTHES FRAGRANS SIMPSON STOPPER | 12" HT X 6" SPR. 2.5" DBH. 5" CT. NATIVE HIGH DROUGHT TOLERANCE | 12 |
| IC12 | ILEX CASSINE DAHOON HOLLY | 12" X 6" SPR. 5" CT. 2.5" DBH. MIX FEMALE/MALE NATIVE HIGH DROUGHT TOLERANCE | 12 |
| QV12 | QUERCUS VIRGINIANA SOUTHERN LIVE OAK | 12" X 6" SPR. B&B, FG. 2.5" DBH 4.5" C.T. NATIVE HIGH DROUGHT TOLERANCE | 4 |
| QV14 | QUERCUS VIRGINIANA SOUTHERN LIVE OAK | 14'-16" HT. X 5" SPR. 3" DBH. 5" C.T. B&B NATIVE HIGH DROUGHT TOLERANCE | 9 |
| RP10 | ROYSTONIS ELATA ROYAL PALM | 10" CT. 20" OA. MATCHED NATIVE MEDIUM DROUGHT TOLERANCE | 3 |
| VM14 | VEITCHIA MONTGOMERYANA MONTGOMERY PALM | 12" CT. SINGLE TRUNK 18" OA. MATCH HTS 3.4" CAL. HIGH DROUGHT TOLERANCE | 21 |
| VM2 | VEITCHIA MONTGOMERYANA MONTGOMERY PALM | 10" CT. 18" OA. DBL. TRUNK B&B FG. HIGH DROUGHT TOLERANCE | 2 |
| SP3 | SABAL PALMETTO CABBAGE PALM | 10" CT. 18" OA. SMOOTH TRUNK B&B FG. NATIVE NURSERY GROWN HIGH DROUGHT TOLERANCE | 9 |

MASTER PLANT LIST

| KEY | PLANT NAME | SPECIFICATION | QUANTITY |
|-------|---|--|----------|
| AGV7 | AGAVE ATTENUATA | 7 GAL. SPECIMEN HIGH DROUGHT TOLERANCE | 4 |
| ALOCB | ALOCASIA BLACK STEM | 5" HT. 3 STEMS MIN. PER POT HIGH DROUGHT TOLERANCE | 16 |
| CIR | CHRYSOBALANUS ICACO COCOPLUM HEDGE | 24" X 24" SPR. 24" O.C. NATIVE MEDIUM DROUGHT TOLERANCE | 85 |
| CES3 | CONOCARPUS ERECTUS SILVER BUTTWOOD | 48" X 30" SPR. 30" O.C. NATIVE HIGH DROUGHT TOLERANCE | 70 |
| CLR7 | CLUSIA ROSEA PITCH APPLE | 36" X 24" 24" O.C. HIGH DROUGHT TOLERANCE | 10 |
| CST3 | CODIAEUM SHOESTRING CROTON | 36" X 24" 24" O.C. HIGH DROUGHT TOLERANCE | 10 |
| DIS7 | DIOON SPINULOSUM DION | 36" X 30" HIGH DROUGHT TOLERANCE | 12 |
| FM3 | FICUS MICROCARPA 'GREEN ISLAND' | 12" X 15" SPR. 18" O.C. NATIVE HIGH DROUGHT TOLERANCE | 310 |
| JPA3 | JUNIPERUS PARSONII PARSONS JUNIPER GROUND COVER | 12" HT. X 15" SPR. MIN. 15" O.C. HIGH DROUGHT TOLERANCE | 280 |
| JPW3 | JASMINUM GRACILLIUM PINWHEEL JASMINE | 24" X 24" 24" O.C. MEDIUM DROUGHT TOLERANCE | 40 |
| LIR | LIRIOPE MUSCARI GREEN LIRIOPE | 1 GAL FULL 6-8 BIBS MIN 12" O.C. MEDIUM DROUGHT TOLERANCE | 400 |
| ME3 | MYRCIANTHES FRAGRANS SIMPSON STOPPER | 24" X 24" 24" O.C. NATIVE HIGH DROUGHT TOLERANCE | 30 |
| MS1 | MIMOSA STRIGILLOSA SUNSHINE MIMOSA POWDERPUFF | 4" HT. X 6" SPR. 6"-8" O.C. NATIVE MEDIUM DROUGHT TOLERANCE | 600 |
| PFG3 | PENNISSETUM SETACEUM WHITE FOUNTAIN GRASS | 30" HT. X 24" SPR. 24" O.C. HIGH DROUGHT TOLERANCE | 140 |
| PM7 | PODOCARPUS MACROPHYLLA YEW PODOCARPUS | 36" X 24" SPR. 24" O.C. HIGH DROUGHT TOLERANCE | 72 |
| PTV3 | PITTIOSPORUM T. VAREGATA VAR. PITT | 20" X 20" SPR. MIN. 7 GAL. 24" O.C. MEDIUM DROUGHT TOLERANCE | 270 |
| SA1 | SEASONAL ANNUALS | 6"-8" O.C. FULL TO POT COLOR - WHITE 1 GAL. 6-8" O.C. CONTRACTOR TO VERIFY QUANTITY SHADESUN | 480 |
| SOD | ST. AUGUSTINE FLORITAM | CONTRACTOR TO VERIFY QUANTITY SHADESUN | - |
| ZAM | ZAMIA FLORIDANA COONIE FERNS | 20" X 20" SPR. 24" O.C. NATIVE HIGH DROUGHT TOLERANCE | 250 |
| EUG | EUGENIA COMPACTA TOPIARY CONE SHAPE | 4" HT. MATCHED SPEC. FULL TO BASE HIGH DROUGHT TOLERANCE | 4 |



REVISIONS:

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SHEET TITLE:
LANDSCAPE PLANTING PLAN

PROJECT:
BOULEVARD GARDENS
 FOR
 LANDMARK DEVELOPERS, INC.
 LOCATED AT:
 17 NW 27TH AVE BROWARD COUNTY, FL. 33311

Digitally signed by James S McClure
 Date: 2024.12.19 21:15:49
 Scale: 1"=10'-05"00"

DATE DRAWN: 11/18/24
 SHEET NO.

L-1

